

△ 1997年 10月 1日 施行 △ 2000年 10月 1日 施行

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>COMPLIES</u>
01. SITE AREA	-	2,448.17 m ²	NO
02. ZONE		-	YES
03. BUILDING HEIGHT	MAX. 11 m	11 m	YES
04. FSR	1.3 : 1 3,182.62m ²	1.27 : 1 3,106.80 m ²	YES
05. NUMBER OF UNIT	-	1 BEDROOM / STUDIO = 9 2 BEDROOM = 23 3 BEDROOM = 4 TOTAL = 36	YES
06. CAR SPACE	AFFORDABLE HOUSING:		
- 1 BEDROOM / STUDIO	0.5 per UNIT 9 UNIT = 4.5		
- 2 BEDROOM	1 per UNIT 23 UNIT = 23		
- 3 BEDROOM	1.5 per UNIT 4 UNIT = 6		
	CAR SPACES REQUIRED = 43	CAR SPACE PROVIDED = 48	YES

YES

Zaner Architects Pty Ltd
Suite 1, Level 8
2 River Street
Sydney, NSW 2101
+61 2 9231 2000
+61 2 9231 2001
www.zaner.com.au
25 495 642 750

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
8-12 BUREANG CRESCENT
RICHMOND, NSW
L.D.A. FARRAGUTTA COUNCIL

As indicated @ A7 sheet.
NOTE:
8466 DA001
JTB No. DTMPL No.



1 = 200 @ A1 sheet
1 = 400 @ A3 sheet

[illegible]

1. MEMBERS' RESPONSES WOULD BE PARTIALY PLANTED
 2. RESPONSE TO COUNCIL LETTER
 3. FOR SUBMISSION
 4. APPROVAL

DATE _____ PAGE _____ OF _____
 Issuing a WILL SHALL be deemed to use, when changed



Zhang Architects Pty Ltd
Suite 1, Level 2
2 River Street
Sydney, NSW 2151
+61 2 9551 6666
+61 2 9551 6613
www.zhang.com.au
20 400 400 700

PROJECT STATUS: **DEVELOPMENT APPLICATION**

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
6-12 BUREANG CRESCENT
KIDALMEY, NSW
L.I.C.: PARRAMATTA COUNCIL

SITE PLAN

7 : 200 @ A1 sheet
RMT
8466 DA100



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1	REMOVED BY HANS WILHELM AND BARBARA FLAHERTY	08-28-2017	CM	18
2	REMOVING TO COUNCIL LETTER	10-13-2016	CM	17
3	ON SUBMISSION	01-26-2016	CM	16
4	ADDITIONAL	DATE	NAME	CODE

53



NORTH ELEVATION
1 : 100 @ A1 sheet
1 : 200 @ A3 sheet



EAST ELEVATION
1 : 100 @ A1 sheet
1 : 200 @ A3 sheet

COMMENTS & GENERAL NOTE

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1	REWORKS RETAINED WALLS AND EXISTING FLATERS	20.08.2017	OK	VR
2	RESPONDING TO COUNCIL LETTER	12.10.2016	OK	VR
3	FOR COUNCIL REVIEW	10.10.2016	OK	VR
4	FOR COORDINATION	09.07.2016	OK	VR
5	FOR SUBMISSION	01.06.2016	OK	VR
6	ADDITIONAL	DATE	REVISION	BY

Drawing is NOT VALID as issued for use, unless checked

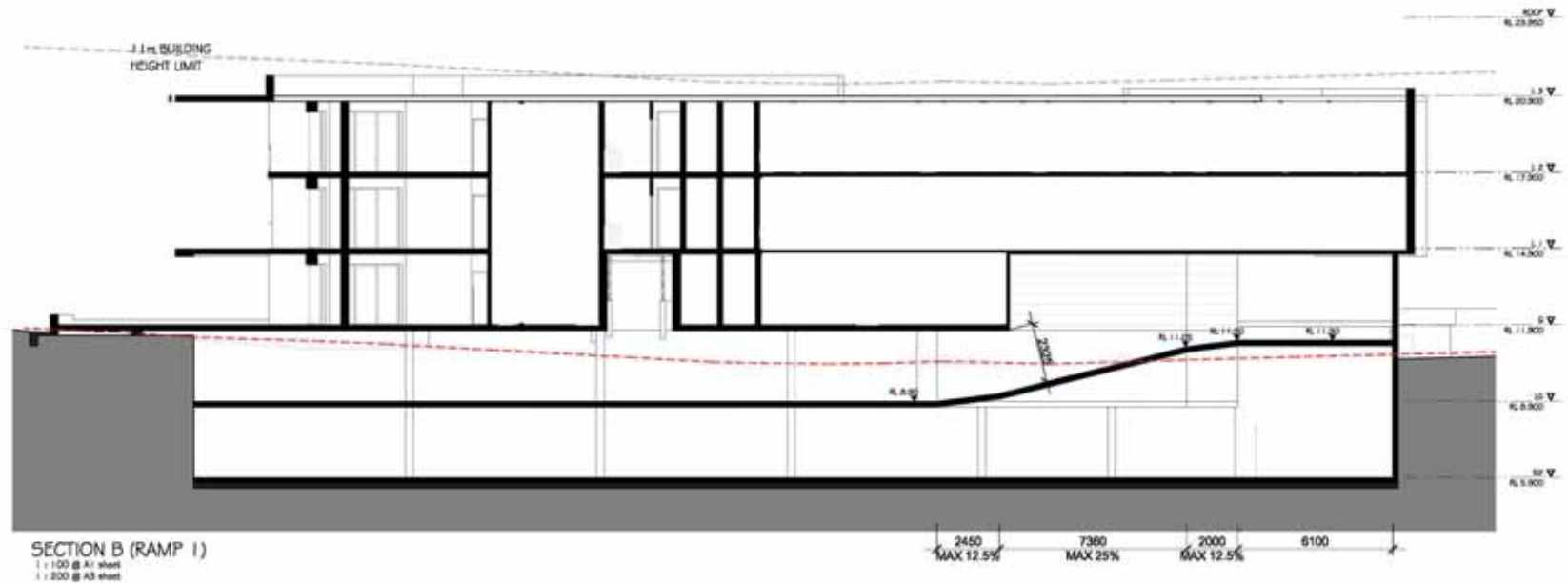
Zhin Architects Pty Ltd
Suite 1, Level 1
1500 Pacific Highway
Sydney NSW 2150
+61 2 9555 8888
+61 2 9555 8888
www.zhin.com.au
20 400 800 700

PROJECT DATA
DEVELOPMENT APPLICATION

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
6-12 BUREANG CRESCENT
KESWILMER, NSW
L.S.A.: PARRAMATTA COUNCIL

SHEET TITLE
ELEVATIONS

1 : 100 @ A1 sheet
SCALE
8466 DA201
DATE



COMMENT & GENERAL NOTE

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1	REVISED RETAINING WALLS AND PAVED FLATFLO	06.09.2017	DM	100
2	REVISED RETAINING WALLS AND PAVED FLATFLO	10.12.2016	DM	100
3	RESPONDING TO COUNCIL LETTER	01.06.2016	DM	100
4	DA SUBMISSION	01.06.2016	DM	100
5	ADDITIONAL	01.06.2016	DM	100

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Zhin Architects Pty Ltd
 Suite 1, Level 1
 55-57 New Street
 Newtown, NSW 1590
 +61 2 9555 5555
 +61 2 9555 5555
 www.zhin.com.au
 00 455 466 750

PROJECT DATA
DEVELOPMENT APPLICATION

PROJECT NAME
 RESIDENTIAL FLAT BUILDING
 DEVELOPMENT
 5-12 BUREING CRESCENT
 KESWILLER, NSW
 L.S.A.: PARRAMATTA COUNCIL

SHEET TITLE
SECTIONS

1 : 100 @ A1 sheet
 SCALE
 8466 DA202
 DATE

SECTION
1 : 100 @ A1 sheet
1 : 200 @ A3 sheet

STRENGTH & ENDURANCE

Physical dimensions: and, like their preference for reading, drawing to be used in conjunction with observation at first stage. (Check all dimensions that apply to new ideas concerning work or ordinary materials.) All sensory aspects that I think I cannot see approximately. Therefore, to be careful, as to be the leader. Any assumption: to be careful back to those thoughts before processing. All assumptions and materials that already exist in relevant context, systems, business. Therefore, any reasonable estimates. (These what found by construction) growing to be used for construction. All any/any representations are included only, information on the drawing in the category of those thoughts. (These to show the context of what is not defined within, as to be used for construction.)

2	REMOVING MY NAME WHILE AND PARTIAL PAYER NEW	08-08-2017	DM	10
3	RESPONDING TO COUNCIL LETTER	10-10-2010	DM	10
4	ON SUPERVISOR	01-06-2010	DM	0
5	APPROVAL	DATE	DM	0

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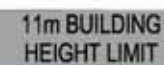
Zaner Architects Pty Ltd
Suite 1, Level 2
2 River Street
Sydney, NSW 2101
+61 2 9262 4000
+61 2 9262 4012
www.zaner.com.au
20 400 400 700

PROJECT STATUS: DEVELOPMENT APPLICATION

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
6-12 BUREANG CRESCENT
KIDALMEER, NSW
L.I.C.B. PARRAMATTA COUNCIL

SECTION

1 : 100 @ A1 sheet
 8466 DA203



Physical documents must be taken in preference to finding. Drawing to be made in conjunction with observation at first stage. Check all documents and books or new material concerning work or ordinary materials. All pending documents from 4 most likely areas are systematic. Inventory to be carried out only by the leader. Any assumption to be carried back to those responsible before processing. All observation and materials that comply with all relevant codes, conventions, traditions, standards and transmission techniques. (These shall be used to construct) primary text to be used for construction. All other representations are included only after observation on the drawing in the category of those previously (cannot or) using the primary or other part without written permission from the leader.

		DATE	THRU	CHG
1	REMOVED REVENUE AND EXPENSE PLANT	10-09-2011	100	100
2	RESPONDING TO COUNCIL LETTER	10-10-2011	100	100
3	ON SUPERVISOR	01-06-2012	100	100
4	ADDITIONAL			



Zhang Architects Pty Ltd
Suite 1, Level 2
2 River Street
Sydney, NSW 2151
+61 2 9555 6500
+61 2 9555 6513
www.zhang.com.au
25 455 522 750

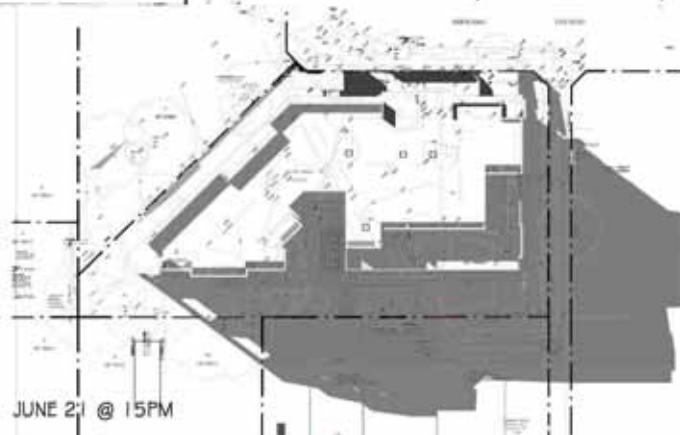
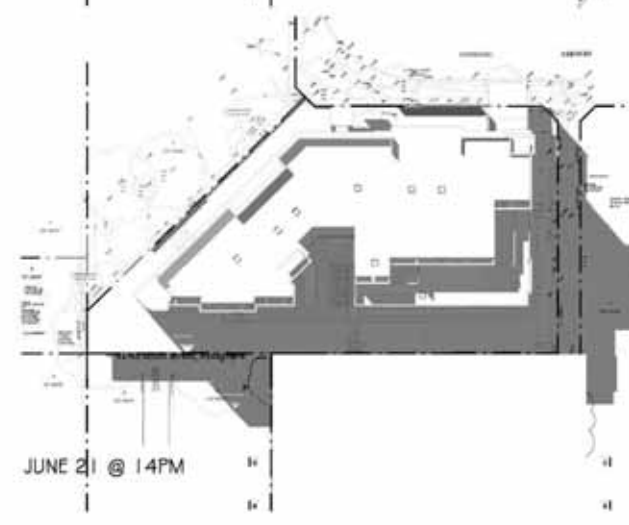
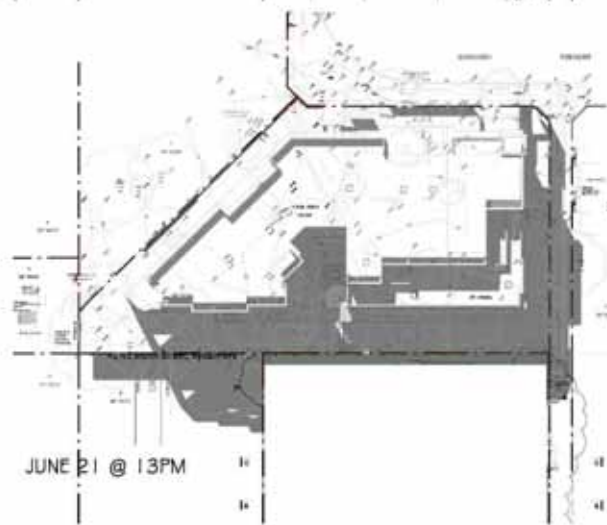
PROJECT STATUS: **DEVELOPMENT APPLICATION**

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
6-12 BUREANG CRESCENT
KIDDAWEE, NSW
L.I.A.: FARRAMATTA COUNCIL

HEIGHT STUDIES

8466 DA400

2



COMMENTS & GENERAL NOTE:

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1. REVISED RETAINING WALLS AND PARKING PAVEMENT 08-08-2017 10% 10%
2. RESPONSE TO COUNCIL LETTER 10-12-2016 10% 10%
3. BY SUBMISSION 01-01-2017 10% 10%
4. APPROVAL 01-01-2017 10% 10%

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Zhin Architects Pty Ltd
Page 1, of 2
15 June 2017
Drawing: SUN STUDIES
+61 8 9393 8888
+61 8 9393 8888
www.zhin.com.au
00 495 846 760

PROJECT NAME:
DEVELOPMENT APPLICATION

PROJECT NAME:
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
8-12 BUREANG CRESCENT
KIDDAWARR, NSW
LGA: PARRAMATTA COUNCIL

SHEET TITLE:
SUN STUDIES
1:430 @ A1 sheet
SCALE:
8466 DA401
DATE: 15/06/2017

- 05. WALL - APPLIED TEXTURE PAINT FINISH - TYPE 5 PAINT - DULUX - HEIFER P1482
- 06. SUNSCREEN MANUFACTURED POWDERCOAT - TO MATCH DULUX CURRENCY CREEK
- 08. WINDOWS FRAME ALUMINIUM DULUX POWDERCOAT - SILVER GREY
- 09. RAILINGS, POST & STRUCTURE DULUX POWDERCOAT - SILVER GREY



5



Physical documents and their labels are references for history. Drawing to be made is completed with reference at first step. Check of documents are made in two labels containing text or ordinary materials. All moving papers from 1966 to 1980 are approximately 100,000. They are to be sorted in order by the label. Any documents to be sorted back by their numbers before processing. All documents and materials that comply with all relevant codes, processes, facilities standards and maintenance instructions. (These labels found by Contractor) proving not to be used for construction. All anti-radiation representatives are notified only. Attention to the drawing in the category of 2000 facilities Canada or other the country or state or part of that article personnel records category.

PROJECT STATUS: DEVELOPMENT APPLICATION

3D PERSPECTIVES
@ A1 sheet.
8466 DA404
CIP No. (Graphic) No.

2



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1 NEW/ARTS BEHAVIOR SHOULD BE
 2
 3 RESPONDING TO COUNCIL LETTER
 4 ON SUBMISSION
 5 APPROVAL

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Zenger Architects Pty Ltd
Suite 1, Level 1
2 River Street
Sydney, NSW 2101
+61 2 9261 6600
+61 2 9261 6611
www.zenger.com.au
26 401 422 700

PROJECT STATUS: DEVELOPMENT APPLICATION

PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
6-12 BURSANG CRESCENT
KIDDAWORTH, NSW
L.S.A.: PARRAMATTA COUNCIL



LOWER GROUND PLAN
1 = 100 @ A1 sheet
1 = 200 @ A3 sheet

EXPENSE & LOSS RATE

Typical documents that are taken in preference to the meeting. Drawing to be used in conjunction with information at that point. Check all documents are used or you leave out something useful or ordering materials. All meeting agendas from 1 hour, lecture and approximations. Identify to be written on only by the leader. Any assumptions to be written back to those facilities before proceeding. All assumptions and materials that comply with all relevant codes, standards, facilities standards and requirements structures. (These notes should be constructed) drawing not to be used for construction. All art/guide representations are included only information on this drawing is the copyright of those facilities. Copying or using this drawing in whole or part without written permission through copyright.

2	MEMBERS RETAINING WALLS AND EXISTING FLIGHTS
3	NEW
4	RESPONDING TO COUNCIL LETTER
5	FOR COUNCIL REVIEW
6	ON SUBMISSION
7	APPROVAL



DATE _____ PAGE _____ OF _____
 Having a Will will protect for you, your spouse

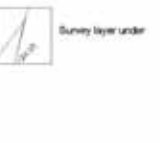
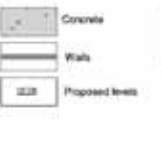
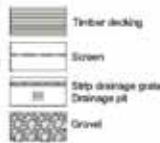
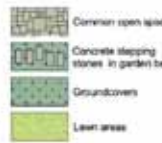
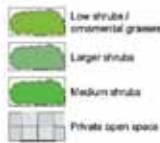
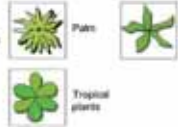
Zaner Architects Pty Ltd
Suite 1, Level 2
2 River Street
Sydney, NSW 2011
+61 2 9261 4000
+61 2 9261 4010
www.zaner.com.au
20 400 400 700

DEVELOPMENT APPLICATION

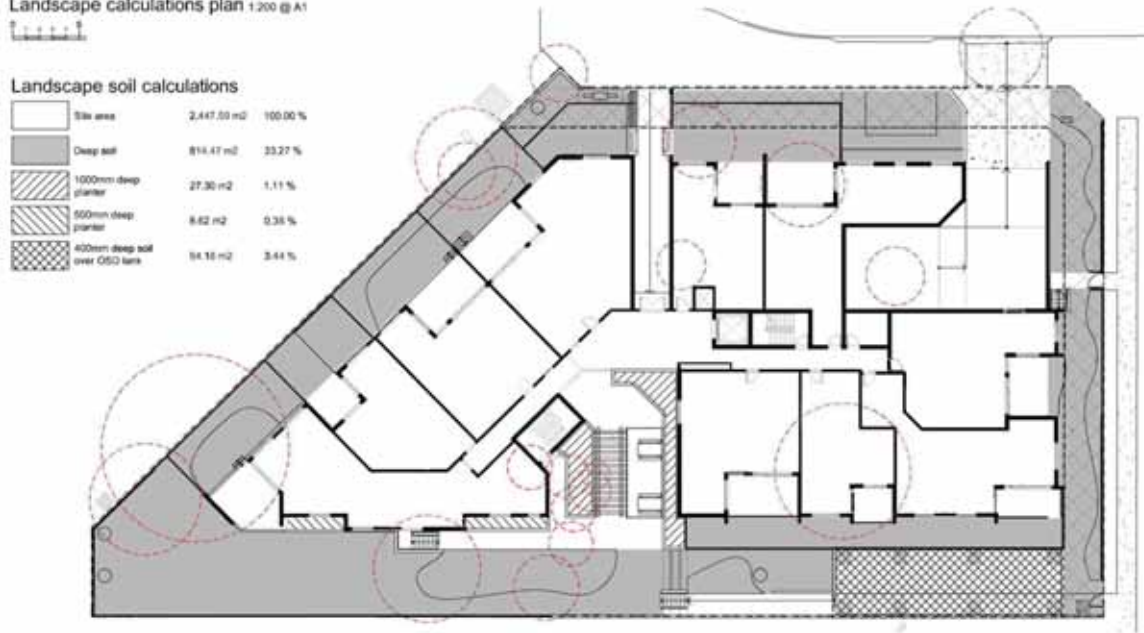
PROJECT NAME
RESIDENTIAL FLAT BUILDING
DEVELOPMENT
8-12 BURESBURG CRESCENT
RUSSELLSBURG, NSW
L.I.C.: PARRAMATTA COUNCIL

SHEET TITLE
**LOWER GROUND FLOOR
 PLAN**
 1 : 100 @ A1 sheet
 SCALE
 8466 DA102
 JOB No. Drawing No.





	Slit area	2,447.59 m ²	100.00 %
	Deep soil	819.47 m ²	33.27 %
	1000mm deep planter	27.30 m ²	1.11 %
	500mm deep planter	8.62 m ²	0.35 %
	400mm deep soil over OSB bark	19.16 m ²	0.74 %



Symbol	Botanical Name	Common Name	Cont. Size	Staking	Mature height
Canopy trees					
AFA	Acer palmatum	Japanese Maple	75L	2x50x50x1800	3-5.0M
BAK	Backhousia myrsifolia	Grey Murtie	75L	3x50x50x1800	8-10.0M
CCJ	Callicarpus crinitus	Crimson Bottlebrush	45L	3x50x50x1800	5-7.0M
CLUP	Chlorophytus erandodes	Jadeberry	75L	3x50x50x1800	5-6.0M
CSS	Camellia sasangua 'Plantation Pink'		45L	2x30x30x1800	3-4.0M
CYM	Corymba maculata	Spotted Gum	100L	3x50x50x1800	20-30M
ER	Elaeocarpus reticulatus	Blueberry Ash	75L	3x50x50x1800	5-7.0M
HYM	Hymenocarpus flarum	Native Frangipani	75L	3x30x30x1800	8-10.0M
PRR	Pyrus ussuriensis	Manchurian Pear	75L	3x50x50x1800	8-10.0M
SAS	Sapum tetralinum	Chinese Yellowwood	75L	3x50x50x1800	7-9.0M
STE	Stenocarpus sinuatus	Five wheel Tree	100L	3x50x50x1800	12-15.0M
SYF	Syzygium floribundum	Weeping Lily Pilly	75L	3x50x50x1800	8-12.0M
Shrubs / standards / ornamental bamboo					
BMU	Buxus microphylla 'Japanica'	Japanese Box hedge	200mm	nil (formally hedged)	0.5M
CSH	Camellia sasangua 'Hiryu'	Camellia Hiryu	250mm	nil (hedged)	2.0M
CKS	Callisemon 'Kings Park Special'	Bottlebrush	300mm	nil (formally hedged)	2.0-3.0M
PCR	Phytolmia 'Glabra Rubens'	Small Leafed Phytolmia	300mm	nil (formally hedged)	1.5-2.0M
XJ	Xylocma japonicum	Glossy Xylocma	300mm	nil (formally hedged)	3-4.0M
Ferns/Palms / Succulents / Ornamental bamboo					
ALO	Collosia spp.	Elephants Ears	200mm	nil	1-1.5M
ARC	Archontophoenix cunninghamiana	Bangalow Palm	sem. adv.	wire guys	7-9.0M
CYS	Cyrtosperma australe	Coin Spot Tree Fern	200mm	nil	1.5-2.5M
DA	Dicksonia antarctica	Soft Tree Fern	300mm	nil	2.0-3.0M
LAV	Livistonia australis	Cabbage Palm	sem. adv.	wire guys	10-12.0M
PHX	Pholidendron Xanadu	Dwarf Philodendron	200mm	nil	0.6M
RHA	Raphis excelsa	Lady Finger Palm	300mm	nil	2-2.5M
STR	Strelitzia reginae 'Dwarf'	Dwarf Bird of Paradise	200mm	nil	0.8M
Groundcovers/Climbers					
GPR	Grevillea 'Poonindia Royal Mantle'	Grevillea groundcover	200mm	nil (groundcover)	0.2M
HIS	Hibbertia scandens	Snake Vine	200mm	nil (groundcover)	0.3M
PDS	Pandorea jasminoides	Bower Plant	250mm	wire fence supports	2.5M
TJ	Trachelospermum jasminoides	Star Jasmine	250mm	nil	0.3M
Ornamental grasses/strappy leaved plants					
CRP	Cortum pedunculatum	Swamp Lily	200mm	nil	0.6M
LHM	Liriope Evergreen Giant	Turf Lily	150mm	nil	0.4M
LOT	Lomandra 'Takaki'	Dwarf Mai Rush	150mm	nil	0.4M

(See sheet 3 for ground floor planting plan)

1000



5. Site preparation
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby side works should be marked carefully using hand-held.

To ensure the survival and growth of existing trees during landscaping, work should be limited to removing what is necessary. Trees that are to be removed or topped should be clearly marked in advance to give as much notice as possible. Storage of materials, stacking of materials, vehicle parking, loading of loads, machinery repairs and refueling, site office and sheds, and the lighting of fires should not occur within the vicinity of any existing trees to be retained (or as adjacent to the site). Do not use any soil, rocks or other debris (except from the site, or hauled material) within the top line of existing trees. Vehicular access that will be prohibited within 100 feet of trees of any size.

8. **Food preparation:**

- All prepared poultry, meats to be heated (by hand) in new production ovens to 120mm and eggs to be treated with egg breaker. Thawed poultry to be kept from site and eggs to be sold and not with 25% A.N.I. (25mm) complete or approved equivalent. Apply at least 20mm and 2mm to poultry parts. All additional sold to be 10mm depth of good quality poultry skin to be improved and combined with chicken A.N.I. (25mm) complete or approved equivalent. To be worked in with every few kg by hand in new production ovens in general all care to be taken to hand cutlouse in dry area where existing two birds used to prepare health of these.

2. Row plantings
Heavy, pointed rows and large shrubs should be secured to stakes with twine ties to prevent rocking by wind. Planting holes for plant material should be large enough to allow to take root ball with additional space to take back filling of good quality planting mix.

Maximum heights of parking as shown on parking schedule show the greatest height possible in ideal conditions. These heights are subject to particular site conditions, possible cumulative environments and increased loading or jacking for structural requirements, such as available parking width, intended access under bridges and other obstructions.

4. Plenum boxes waterproofing. All walls areas to be waterproofed and thermal drainage slab installed with gaskets below. Plenum Engineer details for structural details for plenum box drainage & construction. All thermal plenum slab needs to tie to drainage outlets as detailed by Hydraulic Engineer. Ensure minimum 30mm space between plenum box and building structure plenum boxes building floor cavity area of details to provide adequate air space against building. Ensure finishes on perimeters of plenum boxes to be finished to drain into drainage outlets in direct water collection cavity to be tie to build up against building wall. Contractors to be at least as indicated on Architect's drawing. All plenum components or over slab painting to follow the following:

[illegible]

5. Weeding
All planting areas to be mulched with a minimum 10 cm thick cover of recycled hardwood mulch and then all plant areas to be thoroughly soaked with water. All mulch should be free of vegetative reproduction parts of all weed species.

5. Fertilizer
All planting areas to be fertilized with 8-month NPK slow-release fertilizer.
When planted areas: when not slow-release fertilizer pulled per 1/22
(see part). All fertilizers to be applied in accordance with the

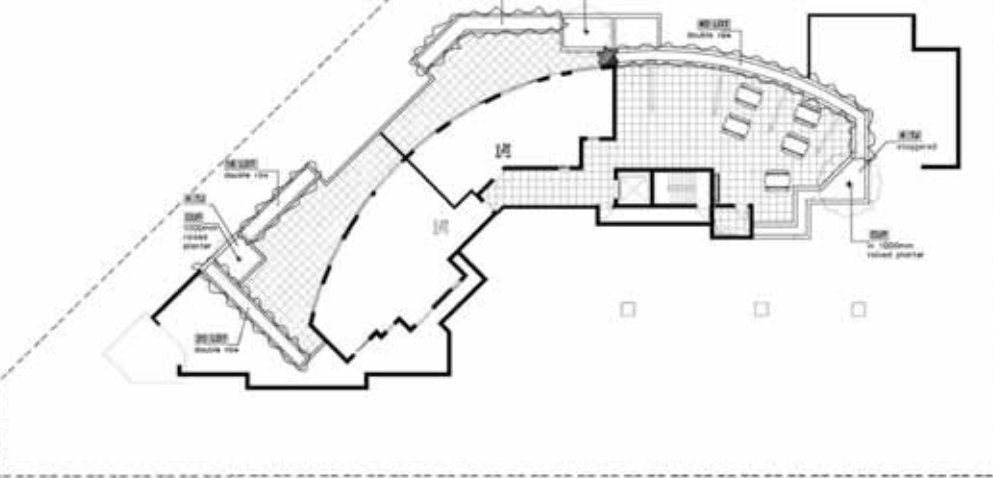
Treated areas: Supply and install Agribon film around
herbicide or approved equivalent lawn care herbicide applied at the rate
recommended by the manufacturer.

To these plants indicated on the planting schedule provide: horizontal stakes as recommended and driven into ground to a depth able to achieve rigid support and to keep a minimum of 1000 (100mm) above finished levels (see construction details).

5 Maintenance
The Landscape Contractor shall maintain the contract area by accepted

Practical completion of the landscape works shall include but not be limited to the replacement of plants which have died or been damaged or stolen.

During wet weather, certain landscape improvements may reduce the risk of flooding to the following: watering, salinity removal, spraying and wiping leaf surfaces, replacing leaf plants, mounding mulch, pouring, roads and drainage control, clearing of surrounding areas. How the turf when it is considered as regular inputs to maintain an average height of 10cm.





Group: _____
Date: _____



姓名：_____

学号：_____

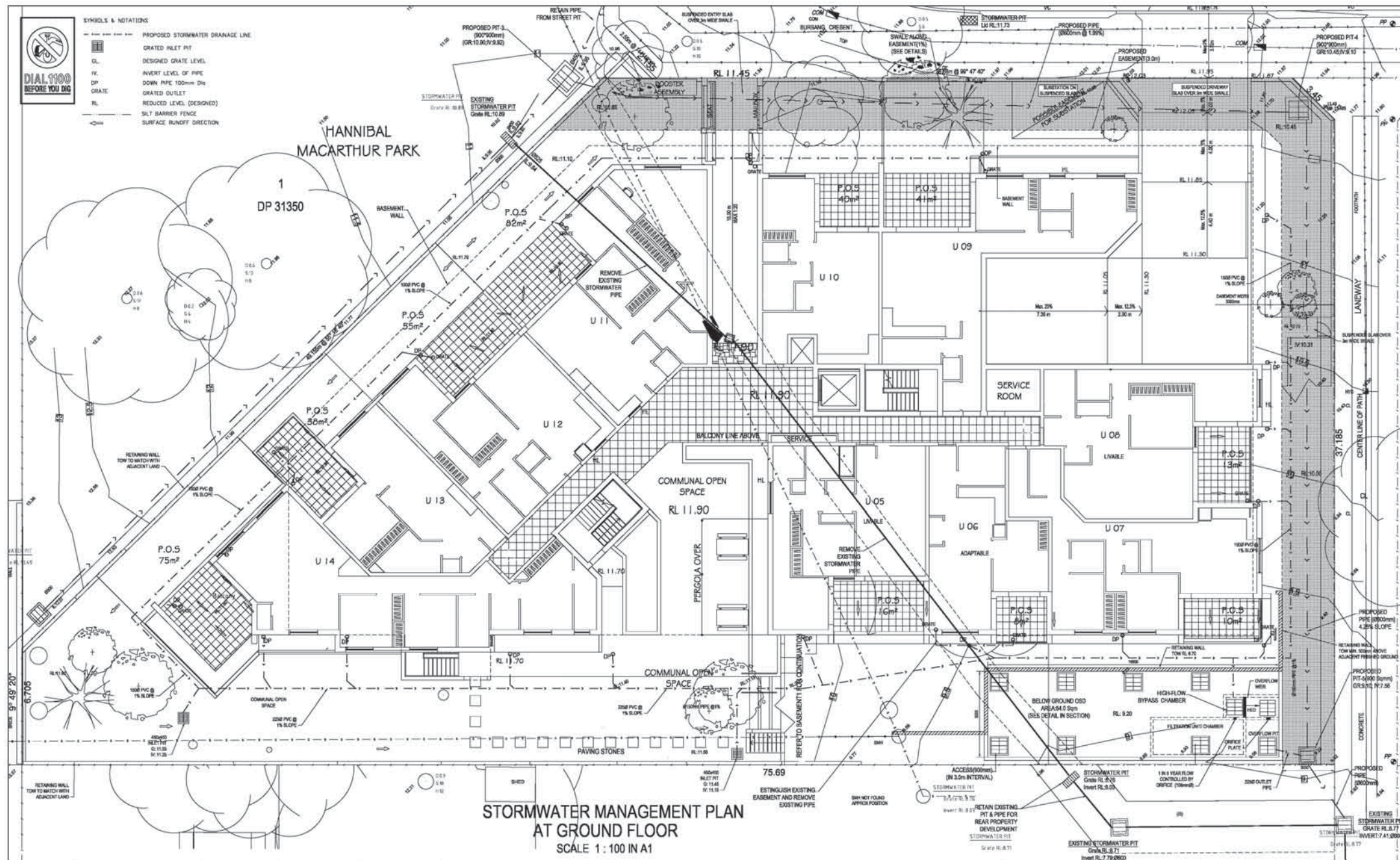
班级：_____

日期：_____



SYMBOLS & NOTATIONS

---	PROPOSED STORMWATER DRAINAGE LINE
□	GRATED INLET PIT
GL	DESIGNED GRATE LEVEL
IV	INVERT LEVEL OF PIPE
DP	DOWN PIPE 100mm Dia
GR	GRATED OUTLET
RL	REDUCED LEVEL (DESIGNED)
---	SILT BARRIER FENCE
→	SURFACE RUNOFF DIRECTION



STORMWATER MANAGEMENT PLAN
AT GROUND FLOOR
SCALE 1:100 IN A1

E	ISSUED FOR D.A.	01.03.2017		
D	ISSUED FOR D.A.	22.02.2017		
C	ISSUED FOR D.A.	19.12.2016		
B	ISSUED FOR D.A.	23.06.2016		
A	ISSUED FOR D.A.	09.06.2016	K.Z.	Y.P.
	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWING COMPLETED BY	CHECKED BY

Consulting Design and Inspection Engineers Pty. Ltd.
STRUCTURAL, STORMWATER & CIVIL ENGINEERS.
221 HOMEBUSH ROAD
STRATHFIELD NSW 2135

PHONE: 9642 0818
FAX: 9758 8704
MOBILE: 0410 658886

M Maran (696466)
CP Eng., MIE Aust. NPER

P Yoganathan (1172197)
B.Sc., M.Eng.Sc., MIE Aust.

STORM WATER DISPOSAL AND SEDIMENT CONTROL PLAN
FOR PROPOSED DEVELOPMENT

PROPOSED RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 8-12
BURBANG CRESCENT RYDALMERE NSW

CONCEPT PLAN

CLIENT

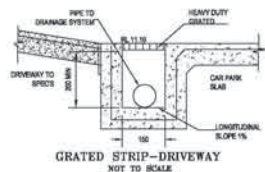
ARCHITECT

ZHNAR ARCHITECTS PTY. LTD



DWG: S1 OF 56

PROJ. 2981



E	ISSUED FOR D.A	01.03.2017		
D	ISSUED FOR D.A	22.02.2017		
C	ISSUED FOR D.A	19.12.2016		
B	ISSUED FOR D.A	23.06.2016		
A	ISSUED FOR D.A	09.06.2016	K Z	Y P
	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWING COMPLETED BY	CHECKED BY

M Maran(696466)
CP Eng., MIE Aust. NPER

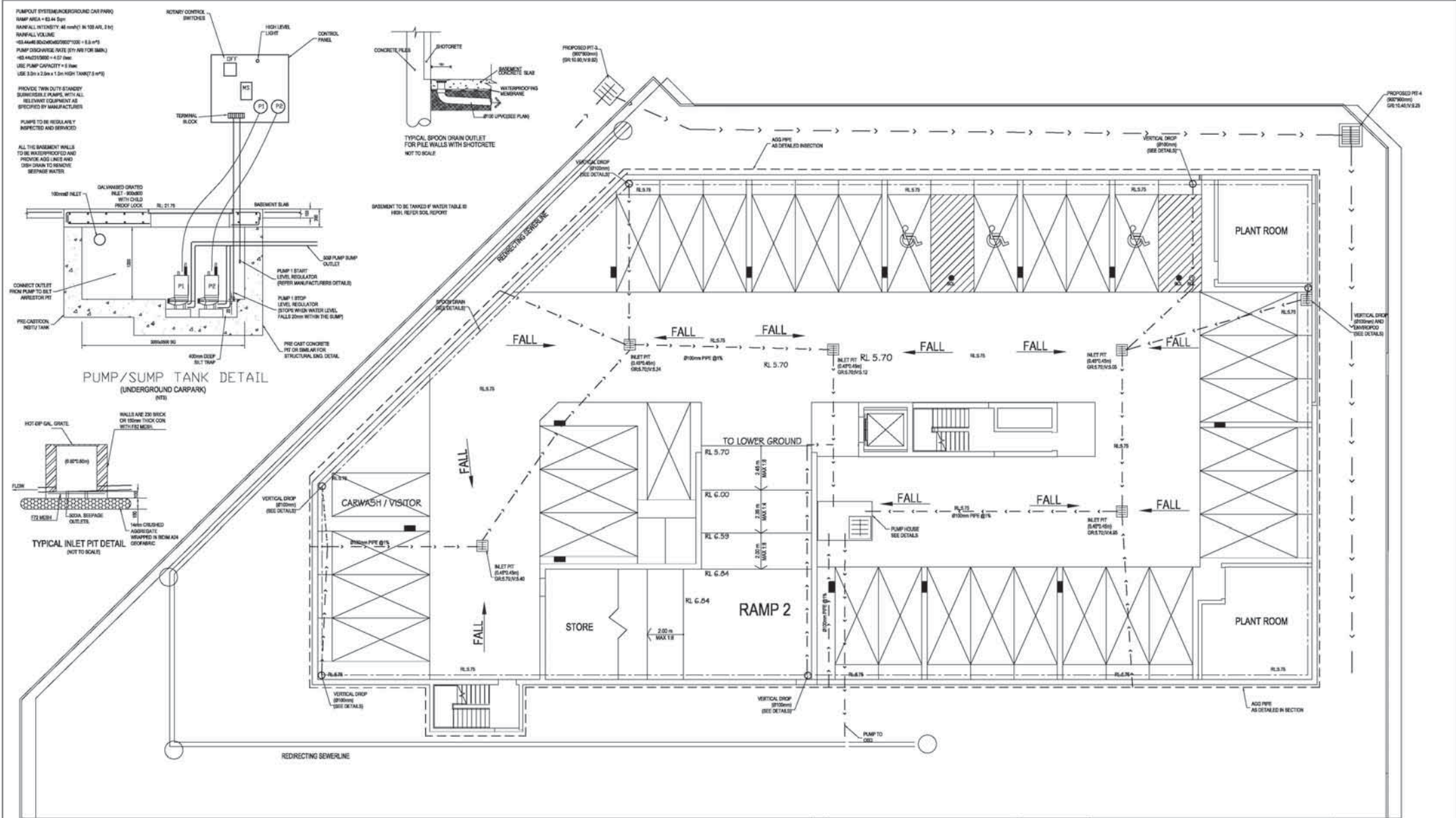
P. Yoganathan (1172197)
B.Sc., M.Eng.Sc., MIE Austl

CONCEPT PLAN

ARCHITECT
ZHINAR ARCHITECTS PTY. LTD



DWG. S2 OF S6
PROJ. 2981



**PROPOSED STORMWATER SYSTEM
AT BASEMENT CARPARK**
SCALE: 1: 100 IN A1

E	ISSUED FOR D.A.	01.03.2017		
D	ISSUED FOR D.A.	22.02.2017		
C	ISSUED FOR D.A.	19.12.2016		
B	ISSUED FOR D.A.	23.06.2016		
A	ISSUED FOR D.A.	09.06.2016	K.Z.	Y.P.
	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWING COMPLETED BY	CHECKED BY

Consulting Design and Inspection Engineers Pty. Ltd.
STRUCTURAL, STORMWATER & CIVIL ENGINEERS.
 221 HOMEBUSH ROAD
 STRATHFIELD NSW 2135
 PHONE: 9642 0818
 FAX: 9758 8704
 MOBILE: 0410 658886

M Maran (696466)
 CP Eng., MIE Aust. NPER

P Yoganathan (1172197)
 B.Sc., M.Eng.Sc., MIE Aust.

STORM WATER DISPOSAL AND SEDIMENT CONTROL PLAN FOR PROPOSED DEVELOPMENT		
PROPOSED RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 8-12 BURBANG CRESCENT RYDALMERE NSW		
CONCEPT PLAN		
CLIENT	ARCHITECT	DWG: S3 OF S6
	ZHNAR ARCHITECTS PTY. LTD.	PROJ. 2981

STORMWATER DRAINAGE NOTES

ALL WORK IN ACCORDANCE WITH THE LOCAL GOVERNMENT ACT, COUNCIL'S STANDARD SPECIFICATION & CODES & THE SUPERVISION OF COUNCIL SUPERVISING OFFICER.

THIS PLAN TO BE READ IN CONJUNCTION WITH PLANS PREPARED BY THE ARCHITECTS AND PLANS PREPARED BY STRUCTURAL ENGINEERS.

ALL LINES TO BE 100 DIA. AT 15 MIN. SEWER GRADE UNLESS NOTED OTHERWISE ON PLAN.

INSTALL TEMPORARY SEDIMENT BARRIERS AROUND ALL INLET PITS TO DETAIL UNTIL SURROUNDING AREA IS PAVED OR GRASSED.

CONTRACTOR IS TO VERIFY THE LOCATION & LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION FOR DRAINAGE.

ALL PITS TO BE CONSTRUCTED TO HALF PIPE SECTION AND TO HAVE SALVAGED STEEL GRATES AND SURROUNDING.

PIPE GRADING SHOWN ARE INDICATIVE MINIMUM. PIPES ARE TO BE LAID TO LEVELS INDICATED AT PITS.

DOWN PIPE TO BE 100mm OR 150mm MINIMUM SIZE AND FOR 45 DEG MAXIMUM THE DISTANCE BETWEEN TWO DOWN PIPES NOT TO EXCEED 1.5m.

EXISTING FOOTPATH AROUND NEW DRIVEWAY TO BE RECONSTRUCTED AS SATISFYING COUNCIL. REMOVAL OF TREES SUBJECT TO COUNCIL APPROVAL.

STORMWATER DESIGN AND CONSTRUCTION TO COMPLY WITH SCA 3.1.2.

CONCEPT PLAN NOT FOR CONSTRUCTION.

ALL EXCAVATION OF ANY STRUCTURES SHOULD SATISFY AS 3801:1991.

OUTLET SLOPE SHOULD BE 1 IN 80 MINIMUM AS PER AS/NZS 3500.3:2000.

DETENTION SHOULD SATISFY SCA 3.2.2.

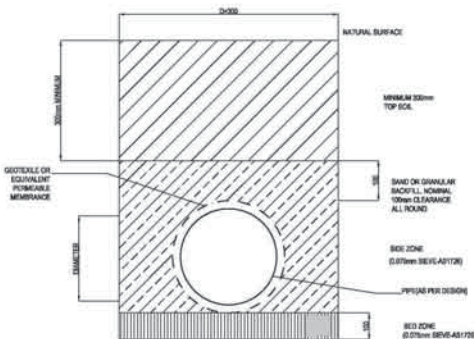
WARNING: EXISTING SERVICES HAVE BEEN PLOTTED FROM RECORDS SUPPLIED BY THE PUBLIC UTILITY AUTHORITIES. LOCATIONS HAVE BEEN INTERPRETED FROM THESE RECORDS ARE APPROXIMATE. ONLY EXTREME CAUTION SHOULD BE TAKEN WHEN EXCAVATING.

USE PIPE SYSTEM FROM ALL DOWN PIPES TO DISCHARGE POINT TO COMPLY WITH COUNCIL AND AUSTRALIAN STANDARDS.

ROOF GUTTER AND DRAINAGE DESIGN TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS. ADJACENT SURFACES TO BE PAVED OR GRASSED AND DRAINAGE ESTABLISHED.

ANY GRATED PIT IN CHILDREN'S PLAY AREAS SHALL BE PROVIDED WITH CHILDPROOF T-TYPE SPRING LOCK.

ALL DRAINAGE AND FLOWING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3:2000 PLUMBING AND DRAINAGE CODE.



PIPE LAYING DETAILS
NOT TO SCALE



PROPOSED SWALE ALONG EASEMENT
NOT TO SCALE

IMPORTANT

All existing services shown on this plan are approximate location only. The contractor is to verify the exact location and level of all existing services prior to commencement of excavation work for pipe laying. The contractor is to meet the full cost to relocate or adjust. Failure to do so may result in future prosecution as required.

SYMBOLS & NOTATIONS

- STORMWATER DRAINAGE LINE
- GRADED INLET PIT
- G. DESIGNED GRADE LEVEL
- L. INVERT LEVEL OF PIPE
- Q.P. DOWN PIPE (BROWNE OR 100mm)
- RL REDUCED LEVEL (PROPOSED)
- SL SURFACE RUNOFF DIRECTION

ABBREVIATED ROOF WATER RUNOFF CALCULATIONS:
AREA = 1100 sq. m
1 in 100 Slope
T₀ = 5 min.
C = 1
Q = 0.07000 m³/s

OSD Design

(Based on Upper Parramatta River Catchment Trust OSD Handbook)

Address: 8-12 Burbang Crescent Rydalmere

Type of OSD: Subsurface

Basic Parameters:

Estimated Intensity: Subsurface Method used for: AS 1:1 in 100

Basic Parameters:

Total site area: 2446 Sq. m
Unshaded area: 89 Sq. m

Percentage of unshaded area: 3.6% < 25%, OK

Subsided the condition in section 5.1.2 in OSD Design manual in event of up to 10% new area

Total area draining to OSD: 2357 Sq. m

Preliminary size storage required SSR: 80.718 Cu. m
(Based on section 5.1.1 or 300 Cum/m²)

Basic PSD: 31.708 Litres
(Based on section 5.1.1 or 100 litres)

Storage headroom of contributing area (SSR): 341.88 Cum/m²

According to Volume PSD sheet No. 5.1
Adjusted PSD: 125 Litres/m²
(According to section 5.1 or 5.1.1 or 5.1.2 or 5.1.3 or 5.1.4 or 5.1.5 or 5.1.6 or 5.1.7 or 5.1.8 or 5.1.9 or 5.1.10 or 5.1.11 or 5.1.12 or 5.1.13 or 5.1.14 or 5.1.15 or 5.1.16 or 5.1.17 or 5.1.18 or 5.1.19 or 5.1.20 or 5.1.21 or 5.1.22 or 5.1.23 or 5.1.24 or 5.1.25 or 5.1.26 or 5.1.27 or 5.1.28 or 5.1.29 or 5.1.30 or 5.1.31 or 5.1.32 or 5.1.33 or 5.1.34 or 5.1.35 or 5.1.36 or 5.1.37 or 5.1.38 or 5.1.39 or 5.1.40 or 5.1.41 or 5.1.42 or 5.1.43 or 5.1.44 or 5.1.45 or 5.1.46 or 5.1.47 or 5.1.48 or 5.1.49 or 5.1.50 or 5.1.51 or 5.1.52 or 5.1.53 or 5.1.54 or 5.1.55 or 5.1.56 or 5.1.57 or 5.1.58 or 5.1.59 or 5.1.60 or 5.1.61 or 5.1.62 or 5.1.63 or 5.1.64 or 5.1.65 or 5.1.66 or 5.1.67 or 5.1.68 or 5.1.69 or 5.1.70 or 5.1.71 or 5.1.72 or 5.1.73 or 5.1.74 or 5.1.75 or 5.1.76 or 5.1.77 or 5.1.78 or 5.1.79 or 5.1.80 or 5.1.81 or 5.1.82 or 5.1.83 or 5.1.84 or 5.1.85 or 5.1.86 or 5.1.87 or 5.1.88 or 5.1.89 or 5.1.90 or 5.1.91 or 5.1.92 or 5.1.93 or 5.1.94 or 5.1.95 or 5.1.96 or 5.1.97 or 5.1.98 or 5.1.99 or 5.1.100 or 5.1.101 or 5.1.102 or 5.1.103 or 5.1.104 or 5.1.105 or 5.1.106 or 5.1.107 or 5.1.108 or 5.1.109 or 5.1.110 or 5.1.111 or 5.1.112 or 5.1.113 or 5.1.114 or 5.1.115 or 5.1.116 or 5.1.117 or 5.1.118 or 5.1.119 or 5.1.120 or 5.1.121 or 5.1.122 or 5.1.123 or 5.1.124 or 5.1.125 or 5.1.126 or 5.1.127 or 5.1.128 or 5.1.129 or 5.1.130 or 5.1.131 or 5.1.132 or 5.1.133 or 5.1.134 or 5.1.135 or 5.1.136 or 5.1.137 or 5.1.138 or 5.1.139 or 5.1.140 or 5.1.141 or 5.1.142 or 5.1.143 or 5.1.144 or 5.1.145 or 5.1.146 or 5.1.147 or 5.1.148 or 5.1.149 or 5.1.150 or 5.1.151 or 5.1.152 or 5.1.153 or 5.1.154 or 5.1.155 or 5.1.156 or 5.1.157 or 5.1.158 or 5.1.159 or 5.1.160 or 5.1.161 or 5.1.162 or 5.1.163 or 5.1.164 or 5.1.165 or 5.1.166 or 5.1.167 or 5.1.168 or 5.1.169 or 5.1.170 or 5.1.171 or 5.1.172 or 5.1.173 or 5.1.174 or 5.1.175 or 5.1.176 or 5.1.177 or 5.1.178 or 5.1.179 or 5.1.180 or 5.1.181 or 5.1.182 or 5.1.183 or 5.1.184 or 5.1.185 or 5.1.186 or 5.1.187 or 5.1.188 or 5.1.189 or 5.1.190 or 5.1.191 or 5.1.192 or 5.1.193 or 5.1.194 or 5.1.195 or 5.1.196 or 5.1.197 or 5.1.198 or 5.1.199 or 5.1.200 or 5.1.201 or 5.1.202 or 5.1.203 or 5.1.204 or 5.1.205 or 5.1.206 or 5.1.207 or 5.1.208 or 5.1.209 or 5.1.210 or 5.1.211 or 5.1.212 or 5.1.213 or 5.1.214 or 5.1.215 or 5.1.216 or 5.1.217 or 5.1.218 or 5.1.219 or 5.1.220 or 5.1.221 or 5.1.222 or 5.1.223 or 5.1.224 or 5.1.225 or 5.1.226 or 5.1.227 or 5.1.228 or 5.1.229 or 5.1.230 or 5.1.231 or 5.1.232 or 5.1.233 or 5.1.234 or 5.1.235 or 5.1.236 or 5.1.237 or 5.1.238 or 5.1.239 or 5.1.240 or 5.1.241 or 5.1.242 or 5.1.243 or 5.1.244 or 5.1.245 or 5.1.246 or 5.1.247 or 5.1.248 or 5.1.249 or 5.1.250 or 5.1.251 or 5.1.252 or 5.1.253 or 5.1.254 or 5.1.255 or 5.1.256 or 5.1.257 or 5.1.258 or 5.1.259 or 5.1.260 or 5.1.261 or 5.1.262 or 5.1.263 or 5.1.264 or 5.1.265 or 5.1.266 or 5.1.267 or 5.1.268 or 5.1.269 or 5.1.270 or 5.1.271 or 5.1.272 or 5.1.273 or 5.1.274 or 5.1.275 or 5.1.276 or 5.1.277 or 5.1.278 or 5.1.279 or 5.1.280 or 5.1.281 or 5.1.282 or 5.1.283 or 5.1.284 or 5.1.285 or 5.1.286 or 5.1.287 or 5.1.288 or 5.1.289 or 5.1.290 or 5.1.291 or 5.1.292 or 5.1.293 or 5.1.294 or 5.1.295 or 5.1.296 or 5.1.297 or 5.1.298 or 5.1.299 or 5.1.300 or 5.1.301 or 5.1.302 or 5.1.303 or 5.1.304 or 5.1.305 or 5.1.306 or 5.1.307 or 5.1.308 or 5.1.309 or 5.1.310 or 5.1.311 or 5.1.312 or 5.1.313 or 5.1.314 or 5.1.315 or 5.1.316 or 5.1.317 or 5.1.318 or 5.1.319 or 5.1.320 or 5.1.321 or 5.1.322 or 5.1.323 or 5.1.324 or 5.1.325 or 5.1.326 or 5.1.327 or 5.1.328 or 5.1.329 or 5.1.330 or 5.1.331 or 5.1.332 or 5.1.333 or 5.1.334 or 5.1.335 or 5.1.336 or 5.1.337 or 5.1.338 or 5.1.339 or 5.1.340 or 5.1.341 or 5.1.342 or 5.1.343 or 5.1.344 or 5.1.345 or 5.1.346 or 5.1.347 or 5.1.348 or 5.1.349 or 5.1.350 or 5.1.351 or 5.1.352 or 5.1.353 or 5.1.354 or 5.1.355 or 5.1.356 or 5.1.357 or 5.1.358 or 5.1.359 or 5.1.360 or 5.1.361 or 5.1.362 or 5.1.363 or 5.1.364 or 5.1.365 or 5.1.366 or 5.1.367 or 5.1.368 or 5.1.369 or 5.1.370 or 5.1.371 or 5.1.372 or 5.1.373 or 5.1.374 or 5.1.375 or 5.1.376 or 5.1.377 or 5.1.378 or 5.1.379 or 5.1.380 or 5.1.381 or 5.1.382 or 5.1.383 or 5.1.384 or 5.1.385 or 5.1.386 or 5.1.387 or 5.1.388 or 5.1.389 or 5.1.390 or 5.1.391 or 5.1.392 or 5.1.393 or 5.1.394 or 5.1.395 or 5.1.396 or 5.1.397 or 5.1.398 or 5.1.399 or 5.1.400 or 5.1.401 or 5.1.402 or 5.1.403 or 5.1.404 or 5.1.405 or 5.1.406 or 5.1.407 or 5.1.408 or 5.1.409 or 5.1.410 or 5.1.411 or 5.1.412 or 5.1.413 or 5.1.414 or 5.1.415 or 5.1.416 or 5.1.417 or 5.1.418 or 5.1.419 or 5.1.420 or 5.1.421 or 5.1.422 or 5.1.423 or 5.1.424 or 5.1.425 or 5.1.426 or 5.1.427 or 5.1.428 or 5.1.429 or 5.1.430 or 5.1.431 or 5.1.432 or 5.1.433 or 5.1.434 or 5.1.435 or 5.1.436 or 5.1.437 or 5.1.438 or 5.1.439 or 5.1.440 or 5.1.441 or 5.1.442 or 5.1.443 or 5.1.444 or 5.1.445 or 5.1.446 or 5.1.447 or 5.1.448 or 5.1.449 or 5.1.450 or 5.1.451 or 5.1.452 or 5.1.453 or 5.1.454 or 5.1.455 or 5.1.456 or 5.1.457 or 5.1.458 or 5.1.459 or 5.1.460 or 5.1.461 or 5.1.462 or 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5.1.736 or 5.1.737 or 5.1.738 or 5.1.739 or 5.1.740 or 5.1.741 or 5.1.742 or 5.1.743 or 5.1.744 or 5.1.745 or 5.1.746 or 5.1.747 or 5.1.748 or 5.1.749 or 5.1.750 or 5.1.751 or 5.1.752 or 5.1.753 or 5.1.754 or 5.1.755 or 5.1.756 or 5.1.757 or 5.1.758 or 5.1.759 or 5.1.760 or 5.1.761 or 5.1.762 or 5.1.763 or 5.1.764 or 5.1.765 or 5.1.766 or 5.1.767 or 5.1.768 or 5.1.769 or 5.1.770 or 5.1.771 or 5.1.772 or 5.1.773 or 5.1.774 or 5.1.775 or 5.1.776 or 5.1.777 or 5.1.778 or 5.1.779 or 5.1.780 or 5.1.781 or 5.1.782 or 5.1.783 or 5.1.784 or 5.1.785 or 5.1.786 or 5.1.787 or 5.1.788 or 5.1.789 or 5.1.790 or 5.1.791 or 5.1.792 or 5.1.793 or 5.1.794 or 5.1.795 or 5.1.796 or 5.1.797 or 5.1.798 or 5.1.799 or 5.1.800 or 5.1.801 or 5.1.802 or 5.1.803 or 5.1.804 or 5.1.805 or 5.1.806 or 5.1.807 or 5.1.808 or 5.1.809 or 5.1.810 or 5.1.811 or 5.1.812 or 5.1.813 or 5.1.814 or 5.1.815 or 5.1.816 or 5.1.817 or 5.1.818 or 5.1.819 or 5.1.820 or 5.1.821 or 5.1.822 or 5.1.823 or 5.1.824 or 5.1.825 or 5.1.826 or 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